

Application Number :	17/00294/AS
Location:	Ashford Indoor Bowls Centre Ltd, Victoria Park, Jemmett Road, Ashford, Kent, TN23 4QD
Grid Reference:	00319/42078
Parish Council:	None
Ward:	Victoria (Ashford)
Application Description:	Proposed new parking area with permeable surfacing
Applicant:	Ashford Bowls Centre Ltd
Agent:	architecture2interior design
Site Area:	0.1521 ha

(a) 19/7R, 1S (b) - (c) KHS/X

Introduction

1. This application is reported to the Planning Committee at the request of the local ward member, Cllr Dara Farrell.

Site and Surroundings

2. The site comprises of approximately 0.1521 hectares of a rectangular shaped piece of land located to the south of the Ashford Indoor Bowling Centre. Adjoining the site to the southern perimeter boundary of the application site is an established residential area and these dwellings front Rising Road whose rear gardens back onto the application site (see figure 1). There are several trees on this site. 4no. of the trees are large mature oak trees with a Tree Preservation Order (5,2017/T1, 5,2017/T2, 5,2017/T6 and 5,2017/T13) (see figure2), and there are 7no. Chinese privet trees that were planted in connection with the original planning permission granted in 2003 under ref 03/00949/AS for the erection of an indoor bowls, tennis court and putting green. The existing trees are visible from public vantage points and currently make a positive contribution to the visual amenity of Jemmett Road, the nearby roads and the local area.



Figure 1 - Site Location Plan

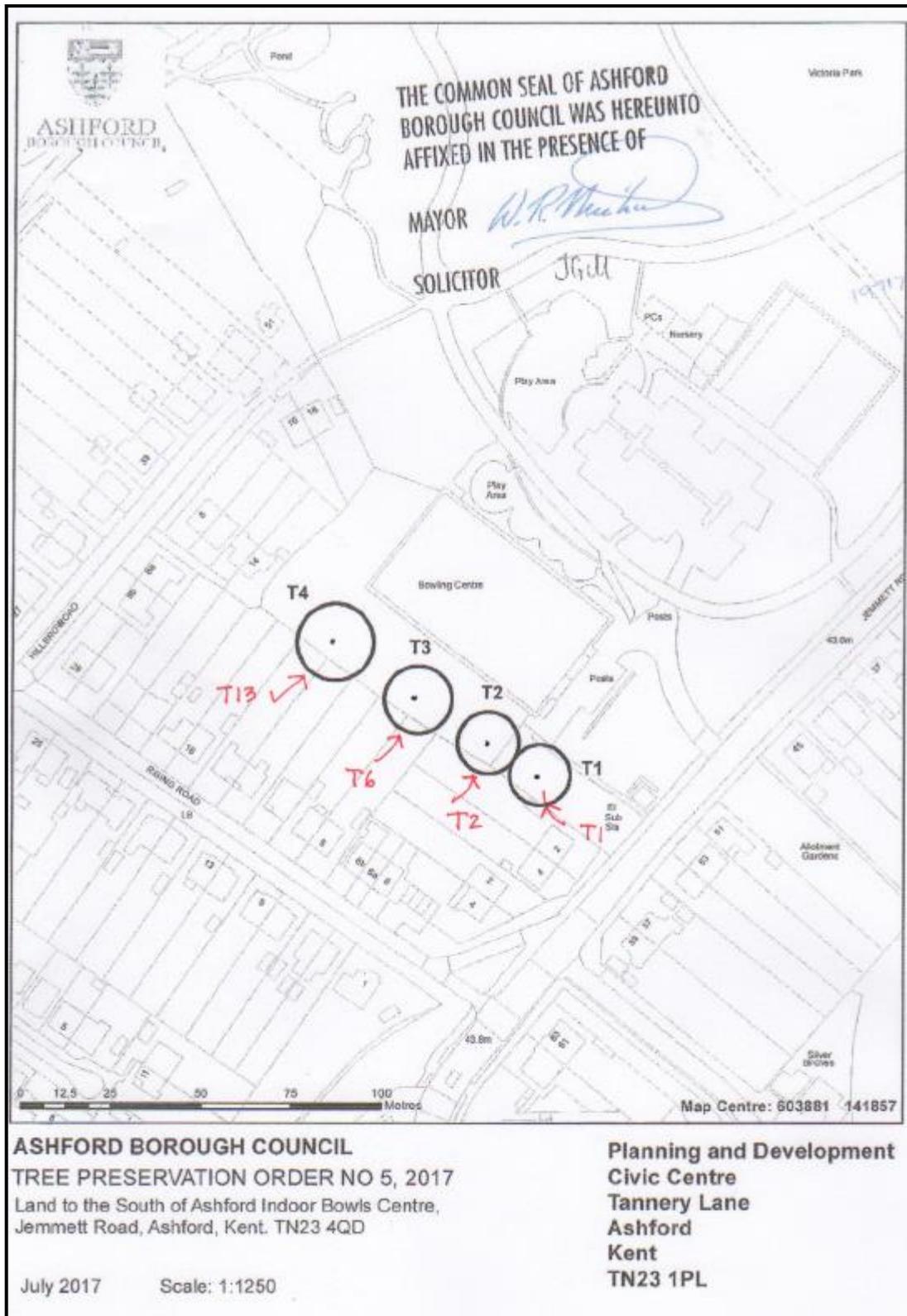


Figure 2 TPO Notice

3. The application site is currently a hand manicured amenity area with several trees and a bin storage area. The site is fenced off by a palisade fence and gate to the east and the southern boundary is enclosed by a 2m high close-boarded fence.
4. There is a separation distance of approximately 32m from the end elevation of properties fronting Rising Road to the southern perimeter boundary of the site.
5. The wider environment of Victoria Park lies to the north. The housing in the area is generally semi-detached two storey dating from the Victorian period onwards. The majority have substantial gardens and off-street parking facilities.
6. There are limited opportunities for on-street parking on Jemmett Road.

Proposal

7. The application proposes the formation of a car parking area with 40no. car parking spaces. 2no. of these car parking spaces would be disabled spaces. An existing driveway will be extended so as to connect to the proposed parking area. The proposed car parking spaces will be 5m x 2.4m with an aisle of 6m turning area. A bin storage area is proposed near the entrance to the car parking spaces and it will be accessed via a 1m high pedestrian gate. The surface of the proposed car parking spaces will be constructed of a permeable surface which will be a free draining plastic paving grid system filled with shingle (see figure 3).
8. The applicant advises that the proposed parking area will be a member's only car park for the Ashford Bowls Centre and will be locked every evening at 11pm when the centre closes.
9. A total of 10 no. trees are proposed to be felled as a result of the development. These are 2no. Silver birches (T5 and T12 – advised to be category C1 trees) 1no. common oak (T13 – advised to be category C1 trees), and 7no. Chinese privet (T19, T20, T21, T22, T23, T24 and T25 – advised to be category C1 trees). The application site is not within a conservation area. T1, T2, T6 and T13 are protected trees with a Tree Preservation Order.
10. When officers expressed concern regarding the scheme originally submitted, a few options were explored and negotiated. However, the applicant now advises that they wish to pursue the initially submitted scheme and that the application should be assessed and decided as submitted (see figure 3).

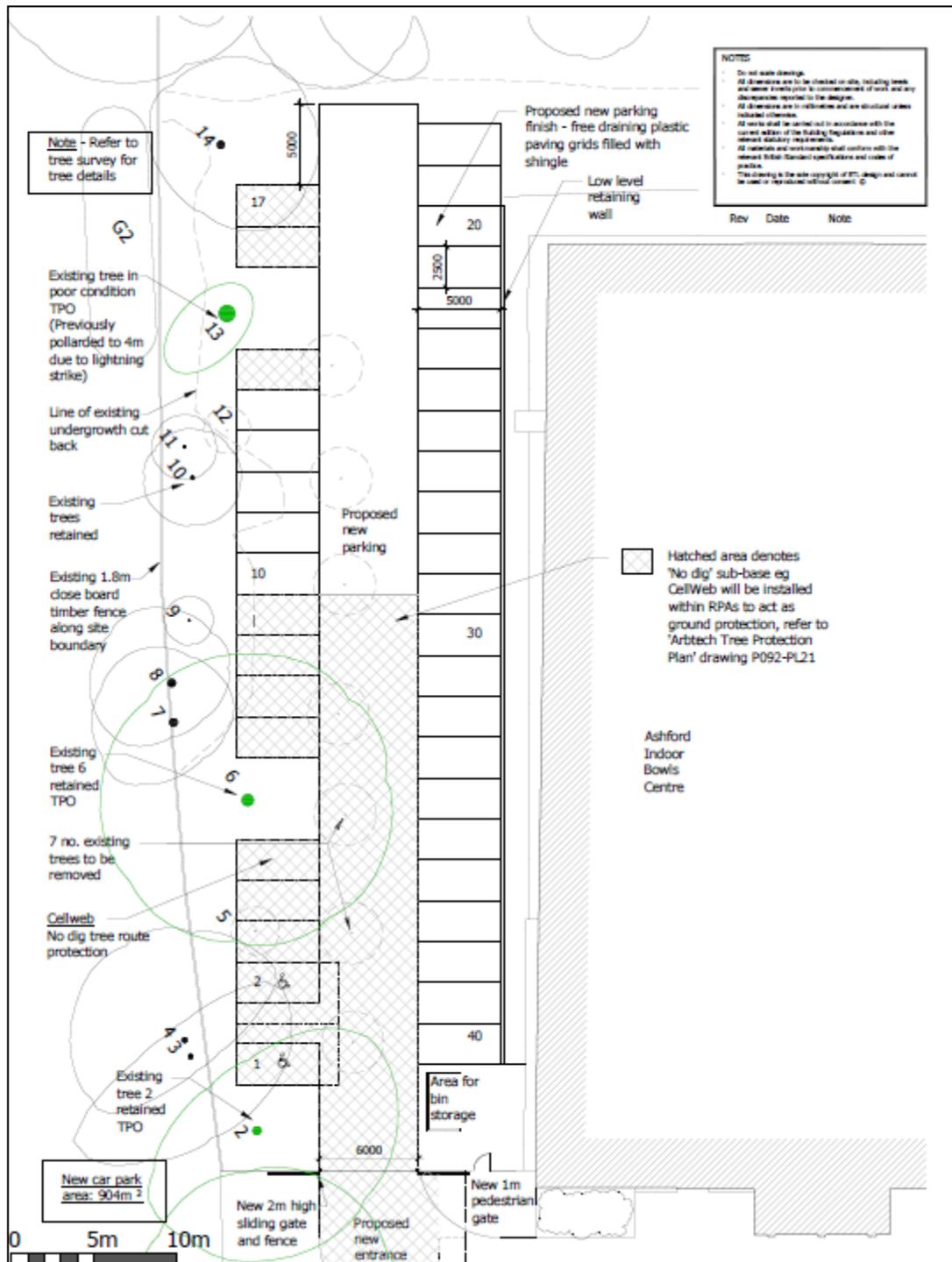


Figure 3 Proposed Layout Plan

11. The application is accompanied by a Planning Statement, a Tree Survey, and Arboricultural Method Statement.

12. The Planning Statement advises that the new car park surface will be constructed with a free draining plastic paving grid system called grid force or similar approved system filled with shingle. The proposed layout takes account of the existing mature trees and a tree survey has been submitted with the application. Tree protection measures will be in place during construction and the larger mature oaks will be retained. The application proposes to fell T5 and T12 silver birches, and 7no. young Chinese Privet and advises that these trees will be removed to accommodate the proposed development and they will be replanted on the site to the rear of the building. The proposed parking spaces will be for members only and the car park gated will be locked every evening after 11pm.
13. The Tree Survey identifies existing trees within the site (tree 1 to tree 25) and groups of vegetation (G1 and G2) and concludes that overall the quality and longevity of the amenity contribution provided for by the trees and groups of trees within and adjacent to the site will not be adversely affected by the proposed development.
14. The Arboricultural Method Statement advises that a total of 10 category C trees will be felled as a result of the development. A tree protection plan drawing no. Arbtech TPP01 is submitted with the application. This drawing shows the location of the protection fencing and the areas where a no-dig subbase such as a cell-web will be installed, and advises that the hard surfacing to be situated within the root protection areas should not require excavation, and construction should be situated entirely above the existing ground level.
15. This report further advises that a CellWeb will be laid above the existing soil surface over a permeable (water and air) geotextile membrane and the Cellweb is to be backfilled by hand. Excavation within Root Protection Areas (RPA's) will be done by hand. The incursion areas of the RPAs will be as follows: T1 common oak 16.8%; T2 common oak 26.6%; T3 common oak 5.7%; T4 common oak 6.9%; T6 common oak 44.5%; T7 field maple 9.8%; T8 field maple 11.1%, and T14 common oak 12.6%.
16. The report concludes that the overall quality and longevity of the amenity contribution provided by the trees and groups of trees within and adjacent to the site will not be adversely affected as a result of the development, and that any arising issues will be dealt with by condition.

Planning History

17. The site history for Victoria Park consists of a series of minor proposals that have been granted planning permission over the years. In 1982 a changing pavilion and public toilets were constructed, in 1994 an adventure playground was erected, and planning permission was granted in 1996 for new shelters, the bandstand and other structures in the park. This was not implemented. The most relevant to this application is the 2003 planning permission ref 03/00949/AS for the erection of an indoor bowls, tennis court and putting green together with a new access way and car park.

Consultations

Ward Members: No representations received.

19 neighbours were consulted: 8 representations received, 7 objecting to the development and 1 in favour of the development.

The reasons for support which are considered to be planning material considerations are summarised as follows:

- The development would alleviate the current traffic congestion on Jemmett Road

The reasons for objection which are considered to be planning material considerations are summarised as follows are:-

- The development will introduce additional air pollution
- The car parking spaces will need to be lit at night and this will result in harmful light pollution
- There will be noise pollution as a result of vehicles entering and leaving the site and people hanging around the car park
- Coaches currently park on the aces point to the proposed parking and there will be no parking space for coaches
- The land has drainage problems and this development will exacerbate the existing problem
- The development will cause harm to the existing trees and there will be pressure to fell them
- The development will affect the root protection areas of the existing mature trees

- Parking 40 vehicles near a wooden building poses a fire risk
- There is no guarantee that the proposed car parking will be shut at 11pm
- The development is not environmentally friendly

The reasons for objection which are not considered to be planning material considerations are summarised as follows are:-

- The security of neighbouring properties will be at risk as result of the proposed car park
- Neighbours currently suffer noise impact from the existing car park which is sometimes left open all night
- Neighbours currently suffer from noise impact when there is a function at the centre and police have been called out at times to attend to the problems
- Does the application site belong to Victoria Park?
- The Bowls Centre have not had exclusive use of the application site
- Enclosing the application site would hinder neighbouring properties access to the area
- Residents were assured that this piece of land would not be open to members of the public

Kent Highways and Transportation: No objection to the application subject to conditions securing provision of construction vehicle loading/unloading and turning facilities, and the provision of wheel washing facilities, and attaching a highway informative.

Environmental Protection: No objection to the application subject to the submission of a formal management document detailing unlocking and locking of gates, opening times, contact details of responsible person etc in order to control useage of the car park and minimise impact on living conditions of nearby dwellings.

Council's Landscape Officer advises that *'the application site has a veteran tree with cultural significance (T13) which would preclude the construction of 6 parking spaces and the road to serve another 5.*

Mature trees find it more difficult to adapt to change and that the proposal to hard surface 44.5% of the RPA of T6 is beyond what could be reasonably countenanced, even in the face of the best available no-dig system. The trees (T1/T2 and T6) have

been able to grow for many years (probably 70 years +, and T13 100 years) with only minor disturbance within their respective TPO's and as such, and with their continued high landscape value I would find a 20% incursion acceptable with 0% incursion in the RPA of T13.

Honeydew is a significant problem with oak trees and aphids in the summer and this is not an actionable nuisance, notwithstanding this, I would fully expect that pressure would be put on pruning the trees back to ameliorate the problem thus denuding the trees much of their amenity value. In this context, it is worth noting that one quarter of the parking spaces lie within the current canopies of T1/T2/T6 oak trees and that with further growth this can only increase.'

Planning Policy

18. The Development Plan comprises the saved policies in the adopted Ashford Borough Local Plan 2000, the adopted LDF Core Strategy 2008, the adopted Ashford Town Centre Action Area Plan 2010, the Tenterden & Rural Sites DPD 2010, the Urban Sites and Infrastructure DPD 2012, the Chilmington Green AAP 2013, the Wye Neighbourhood Plan 2015-30 and the Pluckley Neighbourhood Plan 2016-30.
19. The new Ashford Local Plan to 2030 has now been submitted for examination. Following this, the Local Plan Inspectors issued a post-hearings advice note on 29th June 2018 which sets out the elements of the Submission Local Plan that they consider require amendment in order to be found sound. In the context of paragraph 48 of the NPPF, this note provides a material step towards the adoption of the Plan and the weight that should be applied to its policies in decision-making. Where the Inspectors have not indicated a need for amendment to policies in the Plan, it is reasonable to assume that these policies are, in principle, sound and should therefore be given significant weight. Where policies need to be amended as a consequence of the Inspectors' advice, significant weight should be attached to the Inspectors' advice in the application of those policies.
20. On 13 September the Council commenced consultation on the main modifications to the draft plan.

The relevant policies from the Development Plan relating to this application are as follows:-

Ashford Borough Local Plan 2000

EN32 – Important trees and woodland

Local Development Framework Core Strategy 2008

CS1 – Guiding principles

CS2 – The Borough Wide Strategy

CS 9 – Design quality

CS11 – Biology and Geological Conservation

CS 15 – Transport

CS18 – Meeting the Community's Needs

CS20 – Sustainable Drainage

The following are also material considerations to the determination of this application.

Ashford Local Plan to 2030 (Submission Version December 2018)

SP1 – Strategic Objectives

SP6 – Promoting High Quality Design

TRA3b – Parking Standards for Non-Residential Development

ENV1 – Biodiversity

ENV3a – Landscape Character and Design

ENV4 – Light Pollution

ENV9 – Sustainable Drainage

ENV12 – Air Quality

Supplementary Planning Guidance/Documents

Sustainable Drainage SPD 2010

Landscape Character Assessment SPD

Public Green Spaces and Water Environment SPD

Government Advice

National Planning Policy Framework (NPPF) 2018

21. Members should note that the determination must be made in accordance with the Development Plan unless material considerations indicate otherwise. A significant material consideration is the National Planning Policy Framework (NPPF). The NPPF says that less weight should be given to the policies above if they are in conflict with the NPPF. The following sections of the NPPF are relevant to this application: -

Paragraph 8 states that *'achieving sustainable development means that the planning system has three overarching objectives which are interdependent and need to be pursued in mutually supportive ways.....'*:-

c) An environmental objective – To contribute to protecting and enhancing our natural, built and historic environment, including making effective use of land, helping to improve biodiversity'

Paragraph 48 states in relation to the stages of preparing a Local Plan that:

"Local planning authorities may give weight to relevant policies in emerging plans according to:

a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);

b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and

c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given)"

Paragraph 124 emphasises the need to secure high quality buildings and places. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.

Paragraph 130 states that permission should be refused for development of poor design that fails to take opportunities available for improving the character and quality of an area and the way it functions.

Paragraph 163 states that development should ensure that flood risk is not increased elsewhere.

Paragraph 175 c) states that *'development resulting in the loss or deterioration of irreplaceable habitats (such as ancient woodland and ancient or veteran trees) should be refused, unless there are wholly exceptional reasons and a suitable compensation strategy exists.'*

Paragraph 180 states that:

Planning policies and decisions should also ensure that new development is appropriate for its location taking into account the likely effects (including cumulative effects) of pollution on health, living conditions and the natural environment, as well as the potential sensitivity of the site or the wider area to impacts that could arise from the development. In doing so they should:

a) mitigate and reduce to a minimum potential adverse impacts resulting from noise from new development – and avoid noise giving rise to significant adverse impacts on health and the quality of life⁶⁰;

b) identify and protect tranquil areas which have remained relatively undisturbed by noise and are prized for their recreational and amenity value for this reason; and

c) limit the impact of light pollution from artificial light on local amenity, intrinsically dark landscapes and nature conservation.

22. National Planning Policy Guidance (NPPG)

Assessment

The main issues for consideration are:-

- Principle of development
- Visual amenity, impact on trees and landscaping
- Residential amenity
- Highways and parking
- Drainage

Principle

23. The application seeks the change of use of a grassed area into a car park (40no. spaces) for use by Ashford Bowls Centre. The applicant advises that there is need for parking spaces that would be dedicated to sole use by members of the Ashford Bowls Centre given that the existing car parking spaces at Victoria Park are at full capacity and there are limited opportunities for on street parking along Jemmett Road and nearby streets. The Ashford Bowls Centre has a floor space of 1521 m² and in accordance with Policy TRA3b of the Emerging Local Plan 2030 the proposed 40no. car parking spaces are acceptable and satisfy policy requirements. Given this, there is therefore no principle objection to the proposed car park subject to other considerations discussed herein being acceptable.

Visual amenity, impact on trees and landscaping

24. Policy SP1 of the Emerging Local Plan, Policy CS1 of the LDF and Paragraph 8 of the NPPF all aim to conserve and enhance the natural environment including designated and undesignated landscapes and biodiversity. In addition, Policy ENV32 of the Emerging Local Plan advises that planning permission will not be granted for any development proposals which would damage or result in the loss of important trees or woodlands. This is reiterated in paragraph 174 (c) of the NPPF which advises that development resulting in the loss or deterioration of irreplaceable habitats (such as ancient woodland and ancient or veteran trees) should be refused, unless there are wholly exceptional reasons and a suitable compensation strategy exists.
25. 9 no. Trees are proposed to be felled as a result of the development. These are 2no. Silver birches (T5 and T12 – classed as category C1 trees), and 7no. Chinese privet (T19, T20, T21, T22, T23, T24 and T25 – classed as category C1 trees). The application site is not located within a conservation area and given this, the 2no. silver birches and 7no. Chinese privet are not protected trees and permission is not required to fell them. However, the 7no. Chinese privet were planted as part of planning permission ref 03/00949/AS as to soften the visual appearance of the site from public vantage points whilst T1, T2, T6 and T13 are mature and healthy oak trees with a tree preservation order as detailed herein.
26. One of the trees that would be harmed by the proposed development is T13, a Common oak tree (see figure 3). This tree together with the other TPO trees on this site are clearly visible from public vantage points and currently make a positive contribution to the amenity of Jemmett Road, and the area as a whole. The submitted Arboricultural Impact Assessment and Arboricultural Method Statement advise that T13 (common oak) is a category C tree that is in a poor condition. However, a full assessment of T13 was undertaken by the

Council's Landscape Officer with particular reference to nationally recognised documents and he disagrees with this assessment and advises that T13 (Common oak tree) is a valuable veteran tree with cultural significance. In addition, historic records held in Ashford Museum show that T13 is one of the Abor day plantings in commemoration of Freeman of the town of Ashford. Given this, it is considered that the submitted survey is not considered to be satisfactory as it does not correctly categorise this tree according to BS5837:2012 standards, and does not select it as a veteran tree.

27. No Root Protection Areas (RPA) has been calculated for this particular tree, however, the Council's Landscape Officer advises that for if it is categorised as a category C tree the RPA radius from the stem would be 12.36m, and if it is categorised as a veteran tree the RPA radius would be 15.4m. It is considered that as a veteran tree it would preclude the formation of 14 car parking spaces and a roadway as detailed in figure 4 herein. Allowing a development as proposed with an RPA as detailed in figure 4 herein would be detrimental to its long-term health, and consequently result in loss of this important tree detrimental to the visual amenities of Jemmett Road and the local area, and contrary to policies. In addition, BS5837:2012 recommends that no development whatsoever should be carried out within the RPA of a veteran tree, and as such a development as proposed is not supported by policies and should be refused.
28. In addition, following advice from the Council's Landscape Officer, this veteran tree offers greater longevity than the 10-20 years stated by the submitted survey. This tree has been allowed to grow for 100 years and more with only minor disturbance within its respective RPA and as such is considered to be of both high landscape value and biodiversity value, and currently makes a valuable positive visual impact along Jemmett Road and the local area. Paragraph 175 c) of the NPPF advises that '*development resulting in loss or deterioration of irreplaceable habitats (such as ancient woodland and ancient or veteran trees) should be refused unless there are wholly exceptional reasons and a suitable compensation strategy exists.*' In this instance the development will result in deterioration and future loss of this veteran tree and there is no acceptable exceptional circumstance or compensation strategy put forward by the applicant so as to allow damage and consequently loss of this veteran tree. As such the application should be refused.

29. Furthermore, the works proposed would affect the Root Protection Areas (RPA) of the 3no. Oak Trees with a Tree Preservation Order (T1, T2 and T6).

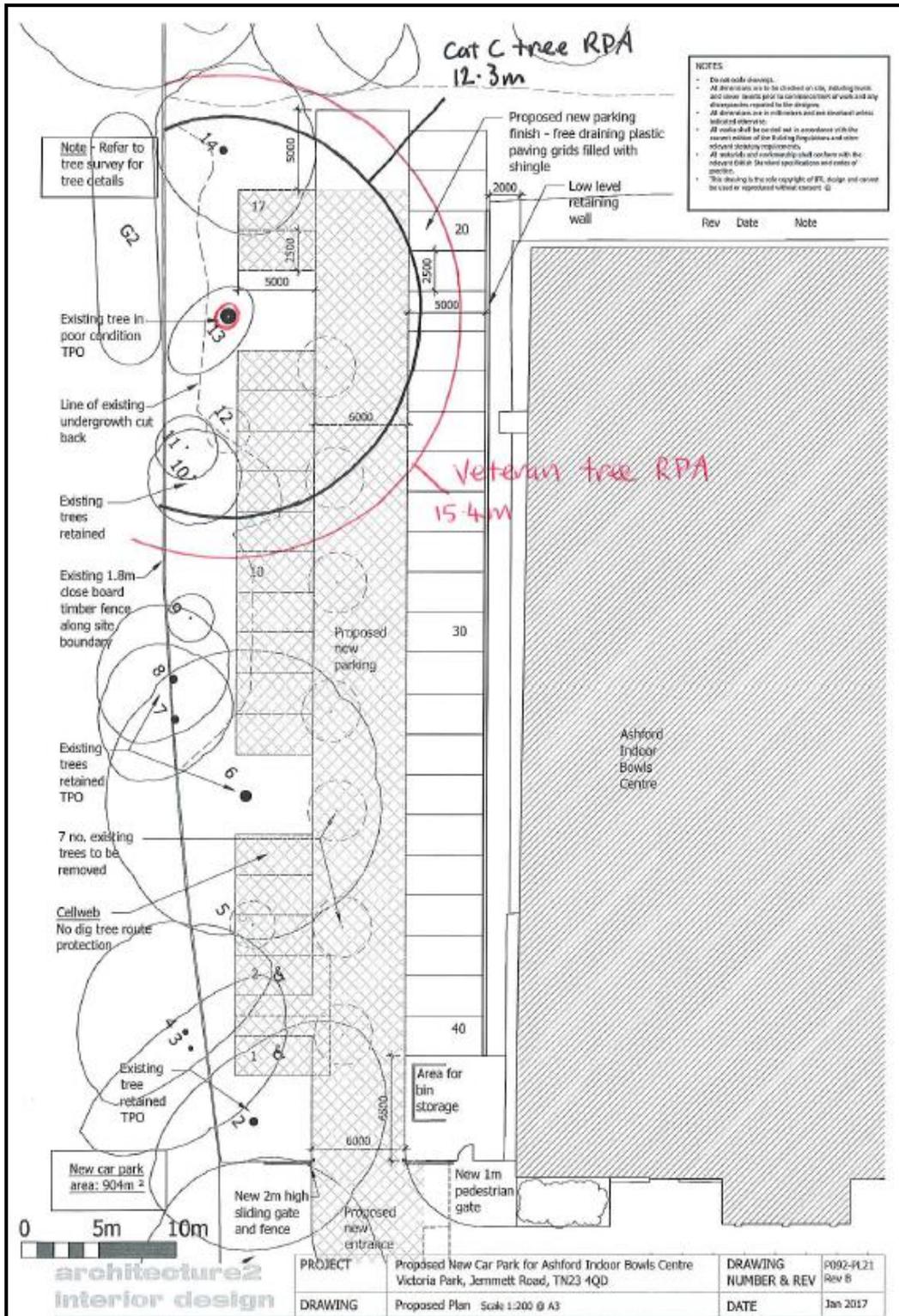


Figure 4 RPA of Veteran Tree

The protected trees T1, T2 and T6 have been able to grow for 70 years and more with only minor disturbance within their respective RPA's, and as such are considered to be of high landscape value and currently make a valuable

positive visual impact along Jemmett Road and the local area. The applicant proposes mitigation measures for these trees (T1, T2 and T6) so as to minimise the impact of the development on these protected trees. They propose to use a Cellweb that will be laid above the existing soil surface over a permeable (water and air) geotextile membrane and the Cellweb is to be backfilled by hand. Excavation within RPA's will be done by hand. The submitted supporting documents advise that the incursion areas of the RPAs will be as follows: T1 common oak 16.8%; T2 common oak 26.6%; T3 common oak 5.7%; T4 common oak 6.9%; T6 common oak 44.5%; T7 field maple 9.8%; T8 field maple 11.1%, and T13 common oak 12.6%. T1, T2, T6 and T13 are protected common oak trees.

30. Given the high quality landscape and biodiversity value of these protected trees and that they are fully visible from public vantage points, it is considered that the proposal to hard surface the root protection areas of T2 and T6 by use of a CellWeb with incursion areas of the RPAs being more than 20% as detailed herein is considered to be beyond what would be acceptable even if a no-dig system is used. This is considered to be an overdevelopment within the root protection areas of these high quality trees detrimental to their long-term health, which would in turn result in loss of these trees, and as a consequence detrimental harm will be caused to the visual amenities of Jemmett Road and the local area. As such given the continued high landscape value of these protected trees, a development as proposed is considered to be unacceptable and the proposed mitigation measures are also considered to be unacceptable. The development is therefore contrary to policies.
31. Furthermore, approximately 9 of the proposed parking spaces lie within the current canopies of T1, T2 and T6 oak trees and with further growth the canopy spread will increase. Honeydew (sticky sap residue) is a significant problem with oak trees and aphids in the summer, and given this, there will be future pressure to prune these oak trees to ameliorate the problem thereby denuding the trees much of their amenity value, and thereby resulting in detrimental impact on the visual amenities of the street scene (Jemmett Road in particular), and the local area, contrary to policies.

Residential amenity

32. The application site is located within an established residential area and the nearest dwellings front Rising Road and Jemmett Road. These dwellings have the potential to suffer noise, nuisance, disturbance and inconvenience as a result of cars driving in and out of the car park and members of the club congregating in the car park when the car park is in use. Given the available separation distance of 32m, and that the application site is within an urban area and fronts Jemmett Road which is a fairly busy road, it is considered that

the noise, nuisance, disturbance and inconvenience that will be caused by the proposed car park will not be significantly detrimental to the residential amenities of these neighbours, and if any noise impact is caused, it will not be significantly worse than the noise, nuisance, disturbance and inconvenience currently caused by vehicles using Jemmett Road and the nearby roads. It is noted that neighbours have raised concern regarding the noise impact of the proposed car park on their living conditions, however, for the above reasons it is not considered that the harm caused is significant enough to be detrimental to their living conditions. To minimise noise impact and following comments from the Council's Environmental Protection Team, if planning permission is granted for the development, the car park gates should be locked whenever the club is not in use and this should be secured by condition. Neighbours have also raised concern regarding the impact of lighting on their residential amenities. However, this is not considered to be an issue as the application does not propose the installation of lighting to service the car park.

Highways and parking

33. The applicant advises that Ashford Bowls Centre has more than 500 members, that the existing car park is shared with users of the nursery and visitors to the park, and that at the moment these car parking spaces do not meet the need. The Ashford Bowls Centre has a floor space of 1521 sq.m and according to Policy TRA3b of the Emerging Local Plan, the proposed 40no. car parking spaces are considered to be acceptable and meet policy requirements. KCC Highways & Transportation have no objection to the development in terms of highway safety or capacity, and recommend conditions to be attached if planning permission is given for the development.

Drainage

34. The application site is underlain by clay and there is unlikely to be any groundwater issues. In addition, the applicant proposes to construct the car parking area using a permeable surface that would enable surface water to permeate into the ground and not result in an increase in surface water runoff rates or total volumes from the site. Neighbour's concerns regarding drainage issues are noted, however, following advice from the Council's Project Officer, it is considered that a permeable surface as proposed is acceptable and that no attenuation is required.

Human Rights Issues

I have also taken into account the human rights issues relevant to this application. In my view, the "Assessment" section above and the Recommendation below represent an appropriate balance between the interests and rights of the applicant (to enjoy their land subject only to reasonable and proportionate controls by a public authority)

and the interests and rights of those potentially affected by the proposal (to respect for private life and the home and peaceful enjoyment of their properties).

Working with the applicant

In accordance with paragraphs 38 of the NPPF, Ashford Borough Council (ABC) takes a positive and creative approach to development proposals focused on solutions. ABC works with applicants/agents in a positive and creative manner as explained in the note to the applicant included in the recommendation below.

Conclusion

For the reasons detailed herein, the proposed development is contrary to the Development Plan as a whole.

Recommendation

Refuse

on the following grounds:-

The proposed development would be contrary to policies EN32 of the Ashford Borough Council Local Plan (June 2000), policies CS1, CS2, CS9 and CS11 of the Local Development Framework Core Strategy (July 2008), policies SP1, SP6, ENV1 and ENV3a of the Ashford Borough Emerging Local Plan (2030), the Council's Landscape Character Supplementary Planning Document (April 2011) and to Central Government guidance contained in the National Planning Policy Framework (2018) and would therefore be harmful to interests of acknowledged planning importance for the following reasons:

(a) The proposed development would result in detrimental harm to T13 which is a valuable veteran tree with a Tree Preservation Order. This tree is of cultural significance and currently positively contributes to the character and appearance of Jemmett Road and the local area, and harm to this tree will be detrimental to its long term health and will consequently result in its loss.

(b) The proposal would result in overdevelopment of the Root Protection Areas (RPA) of trees T2, T6 and T13 which have a Tree Preservation Order and would cause significant threat to their long-term health which would consequently result in their loss.

(c) Given the proximity of the proposed car parking spaces to protected trees T1, T2, T6 and T13 on this site which are healthy trees of high landscape significance and which currently make a positive contribution to the street scene and the local area, a development as proposed would put pressure on these trees to be pruned or felled in the future, which will be detrimental to their long term health and would consequently result in their loss.

The loss of these protected trees would in turn significantly undermine the positive visual, ecological and biodiversity contribution the site makes to the existing street scene and the character of the local area, and would result in a development that would detract from the visual character and appearance of Jemmett Road, and the local area, contrary to policies. No overriding justification has been provided to outweigh this significant harm.

Note to Applicant

1. Working with the Applicant

Working with the Applicant

In accordance with paragraphs 38 of the NPPF Ashford Borough Council (ABC) takes a positive and creative approach to development proposals focused on solutions. ABC works with applicants/agents in a positive and proactive manner by;

1. offering a pre-application advice service,
2. as appropriate updating applicants/agents of any issues that may arise in the processing of their application
3. where possible suggesting solutions to secure a successful outcome,
4. informing applicants/agents of any likely recommendation of refusal prior to a decision and,
5. by adhering to the requirements of the Development Management Customer Charter.

In this instance

- The applicant was provided the opportunity to submit amendments to the scheme.

Background Papers

All papers referred to in this report are currently published on the Ashford Borough Council web site (www.ashford.gov.uk). Those papers relating specifically to this application may be found on the [View applications on line](#) pages under planning application reference 17/00294/AS.

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Annex 1



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